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**PROJECT:  
0 FREMONT ST RESIDENCES**

PROJECT ADDRESS:  
0 FREEMONT STREET  
SOMERVILLE, MASSACHUSETTS

ARCHITECT  
KHALSA DESIGN INC.  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

CLIENT  
JOE SALAMONE  
25 PRESCOTT AVE  
CHELSEA, MA 02150

CIVIL ENGINEER  
P.J.F. AND ASSOCIATES  
4 HIGHLAND AVENUE  
WAKEFIELD, MA 01880

LANDSCAPE ARCHITECT  
VERDANT  
318 HARVARD ST  
BROOKLINE, MA 02446

**SD SET**  
**11/23/2020**



**PROJECT NAME**

**0 Fremont St.  
Residences**


**PROJECT ADDRESS**  
0 Fremont Street  
Somerville, MA

**CLIENT**

**Joe Salamone**

ARCHITECT

D E S I G N



KHALSA

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX:  
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CONSULTANTS:

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**REGISTRATION**

Project number	17108
Date	11/23/2020
Drawn by	TMC
Checked by	JSK
Scale	

## REVISIONS

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Cover Sheet

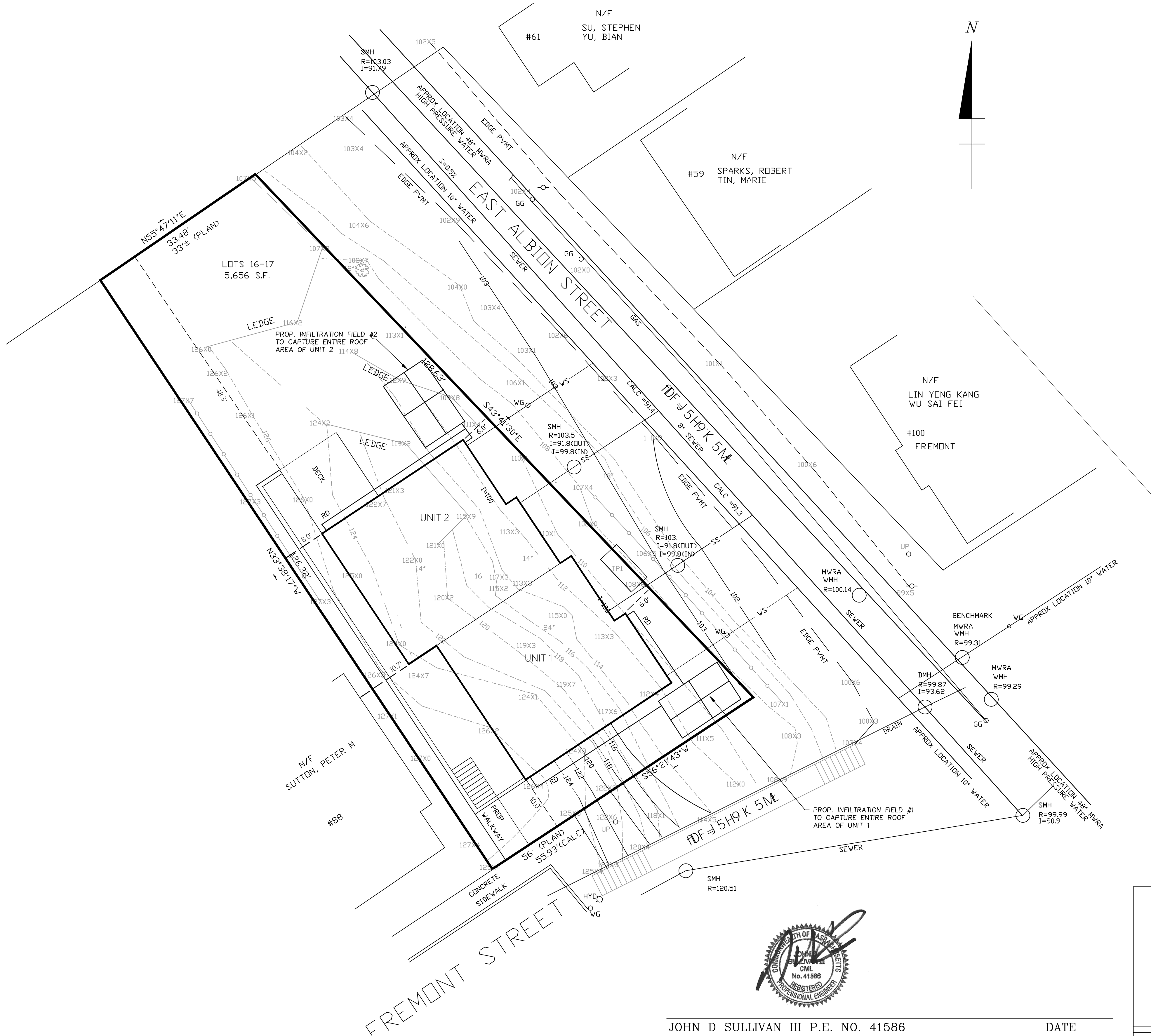
**A-000**

0 Fremont St. Residences









LEGEND:

WATER MANHOLE	WMH ○
WATER GATE	WG ◦
TREE	⊗
FENCE	—○—○—
EXISTING CONTOUR	—108—
EXISTING SPOT GRADE	108X6
GAS GATE	GG ◦
HYDRANT	HYD ○
INVERT	I
RIM	R
SEWER LINE	—S—
SEWER MANHOLE	SMH ○

BOTTOM TEST PIT 1 EL= 100.4

- NOTES:
- 1) CONTRACTOR TO VERIFY LOCATION, SIZE, AND INVERT OF ALL EXISTING UTILITIES.
  - 2) CONTRACTOR SHALL BE RESPONSIBLE TO FIND AND TIE INTO EXISTING UTILITIES.
  - 3) CONTRACTOR TO NOTIFY DIG-SAFE PRIOR TO ANY CONSTRUCTION.
  - 4) WATER SERVICE TO BE 1" TYPE "K" COPPER.
  - 5) SEWER SERVICE TO BE 6" PVC 2.00% MIN. SLOPE
  - 6) WATER & SEWER LATERALS SHALL BE 10' APART (min)
  - 7) BENCHMARK: MWRA MANHOLE ELEVATION = 99.31 (DATUM ASSUMED)

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY  
JOHN D. SULLIVAN III, P.E., C.S.E.  
ON FEB. 15, 2018

TEST PIT: TH-1  
ELEV.=106'±


0"-48" FILL  
48"-120" C LAYER SL 2.5 Y 6/4 35% STONE

MOTTLES & WATER WEeping AT NONE  
E.S.H.G.W. <= ELEV 96.0'

PERCOLATION RATE : 1.02 IN/HR (RAWLS RATE)

SHEET 1 OF 2

PROPOSED SITE PLAN  
OF  
MAP 46-G-1  
FREMONT STREET  
IN  
SOMERVILLE, MA

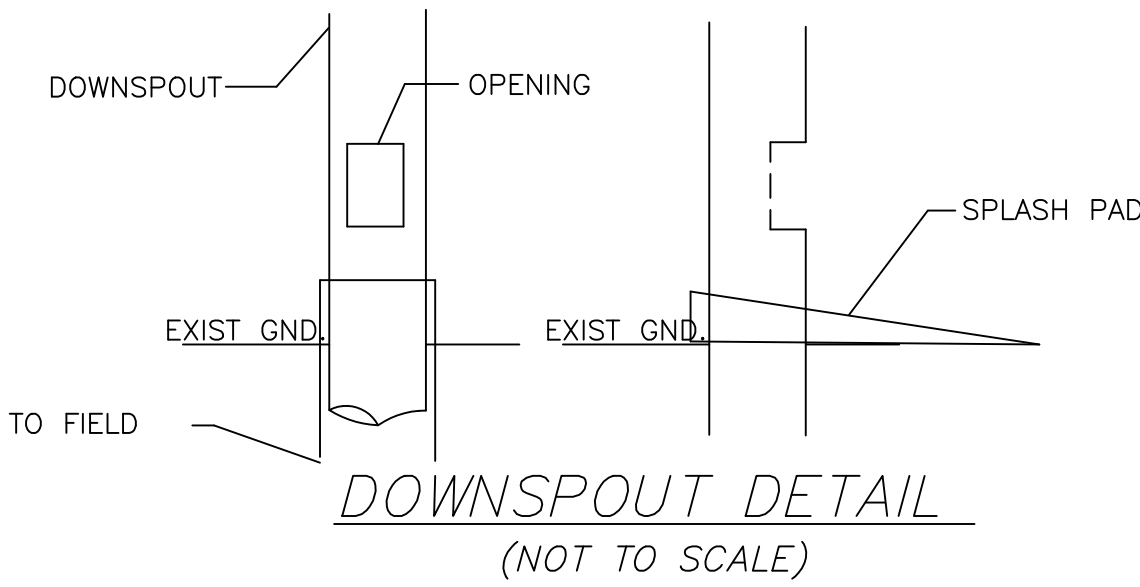
PREPARED BY:	P.J.F. AND ASSOCIATES 4 HIGHLAND AVENUE WAKEFIELD, MA 01880 (781) 883-5473				
	<div>0' 5' 10' 15' 20'</div> <div></div> <div>SCALE: 1" = 10'</div>				
REV.	2/3/20				
DATE:	NOVEMBER 19, 2018			FILE No. 6999P1	
FIELD	PLOT	DESIGN	DRAFT	CALC.	CHECK

JOHN D SULLIVAN III P.E. NO. 41586

DATE

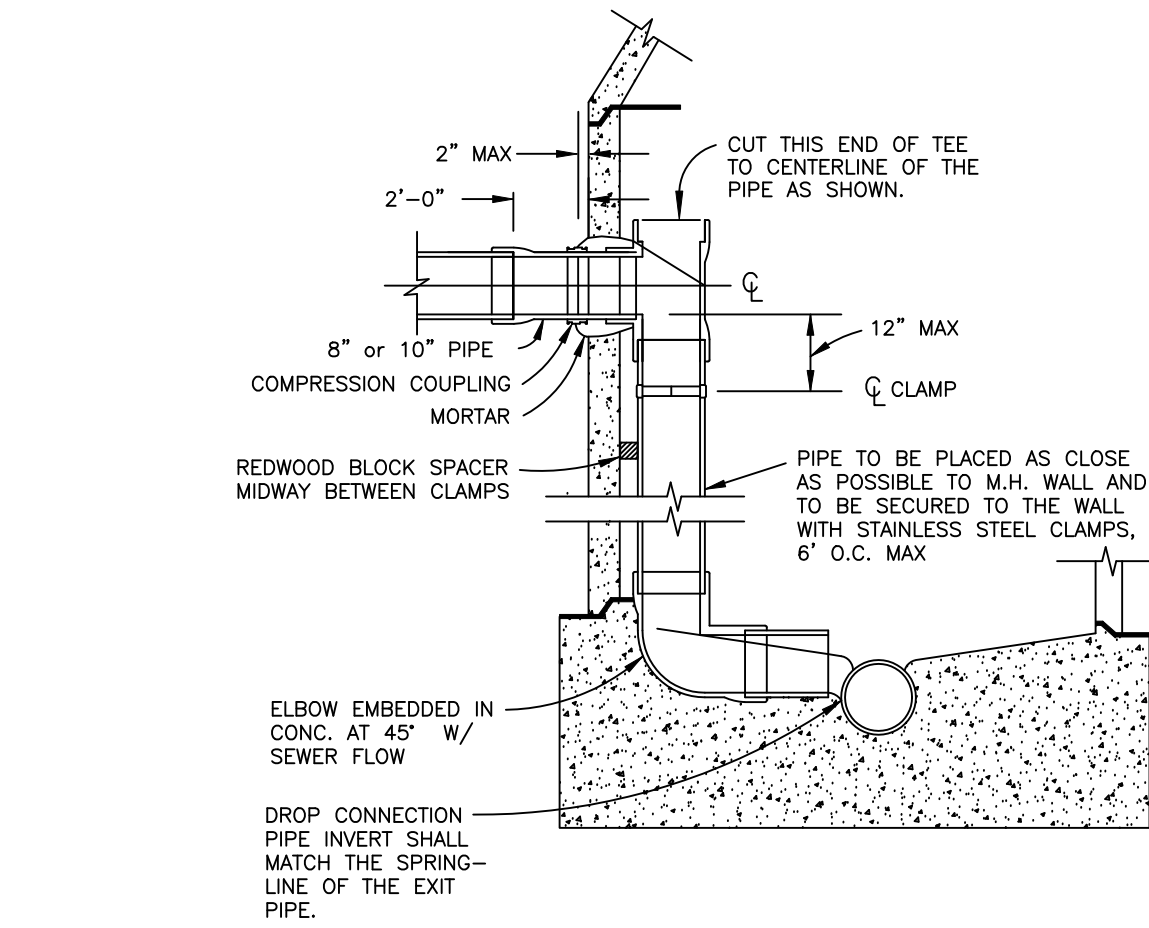
PAUL J. FINOCCHIO P.L.S. No.36115

DATE

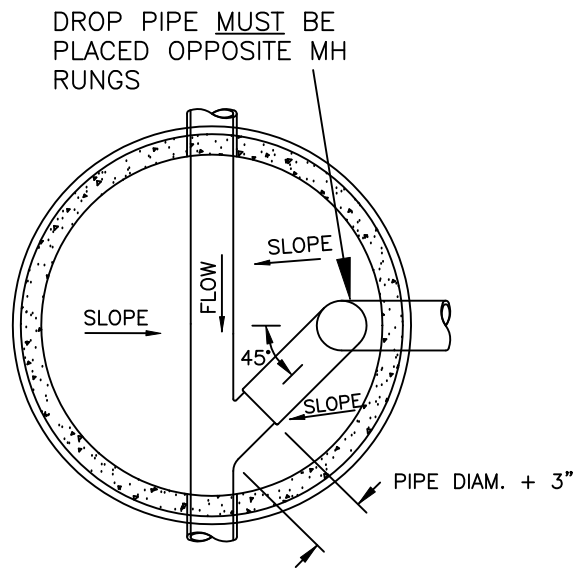


DRAINAGE OPERATION AND MAINTENANCE PLAN:

- 1) ROOF LEADERS SHALL BE EQUIPPED WITH LEAF GUARDS AND SHALL BE CLEANED AT LEAST ONCE A YEAR OF LEAVES/DEBRIS.
- 2) ROOF LEADERS SHALL HAVE AN OVERFLOW AT THE GROUND LEVEL WITH A SPLASH PAD.
- 3) ONE OF THE INFILTRATORS SHALL HAVE AN ACCESS CLEANOUT TO FINISH GRADE TO ALLOW INSPECTION AND MAINTENANCE.
- 4) THE INFILTRATION FIELD SHALL BE INSPECTED AT LEAST 1 TIMES PER YEAR FOR SIGNS OF CLOGGING, DEBRIS CARRYOVER, HYDRAULIC FAILURE, STRUCTURAL STABILITY, AND WATER EXITING THE CHAMBERS WITHIN 72 HOURS. IF THE CHAMBERS EXHIBITS ANY SIGNS OF FAILURE IT SHALL BE REPAIRED OR REPLACED.



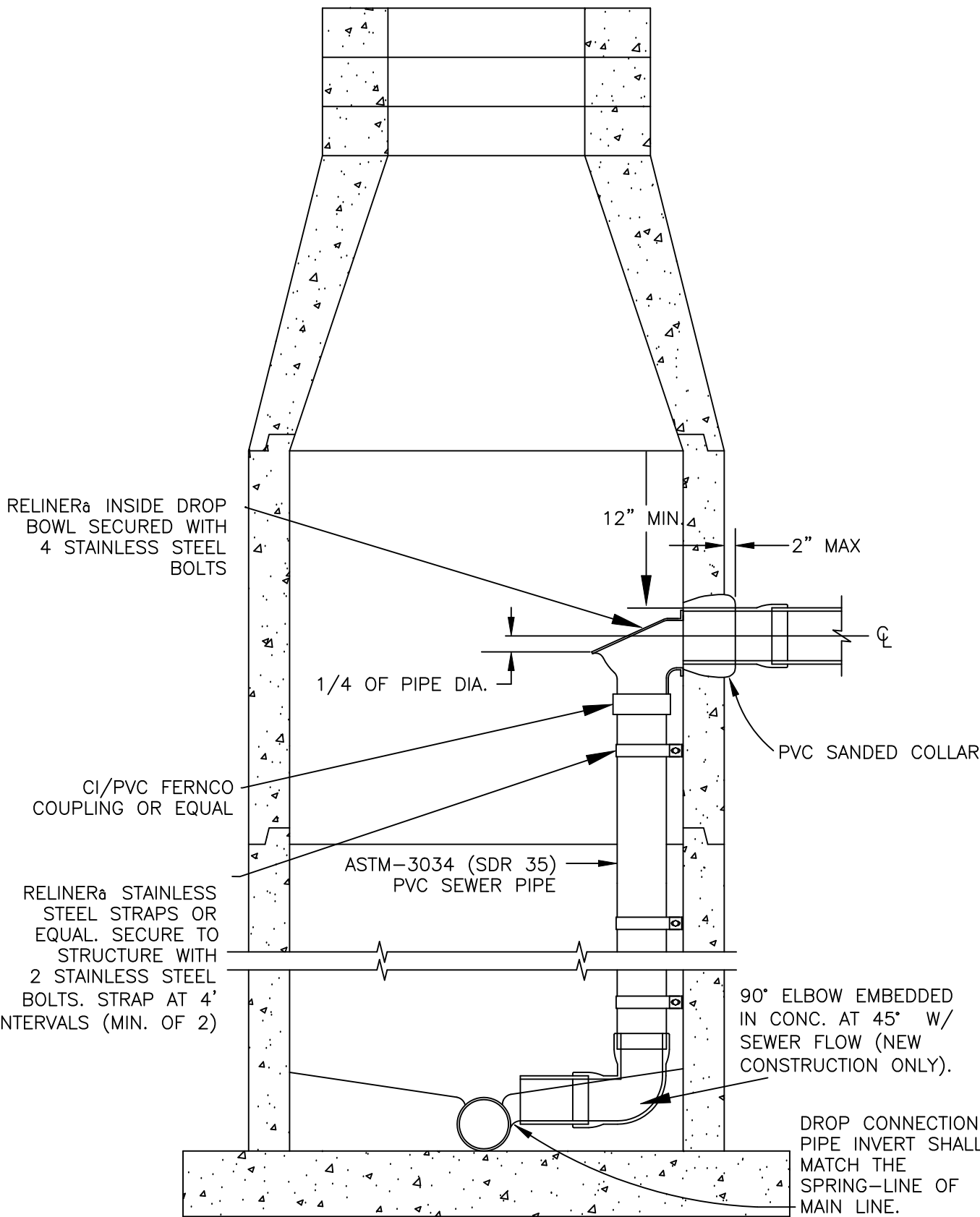
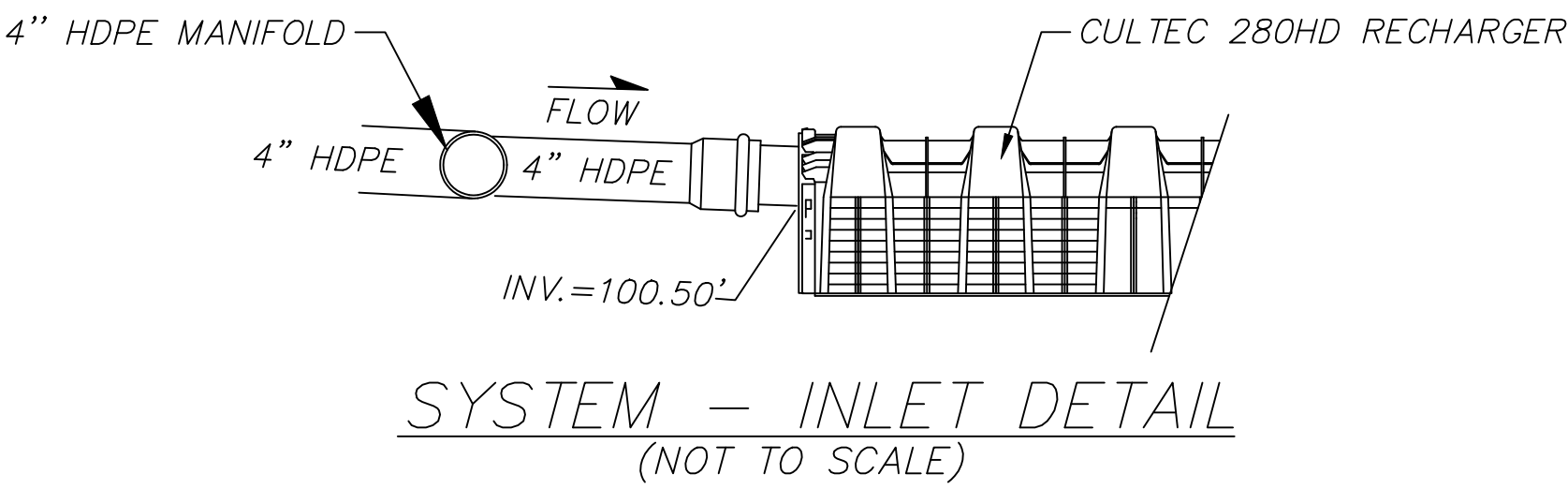
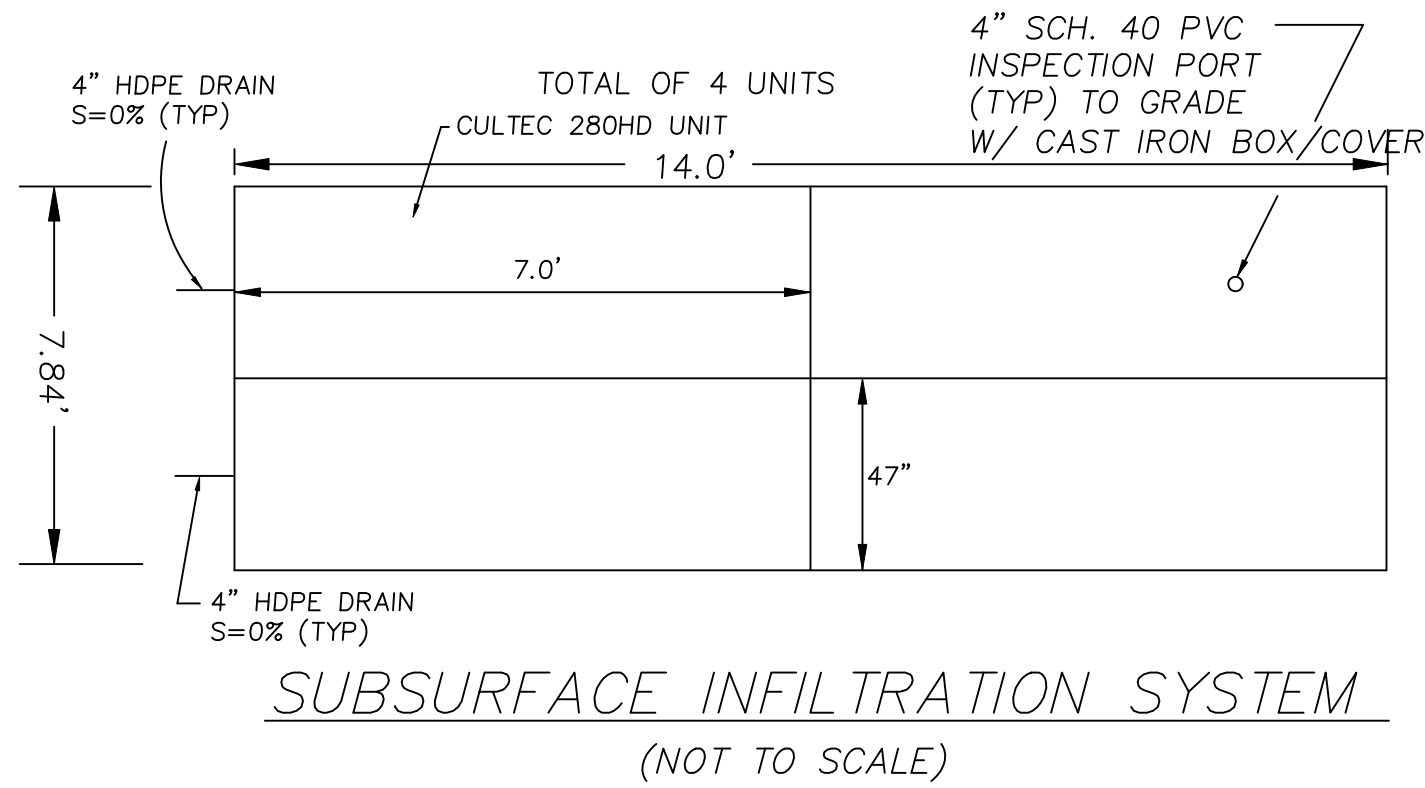
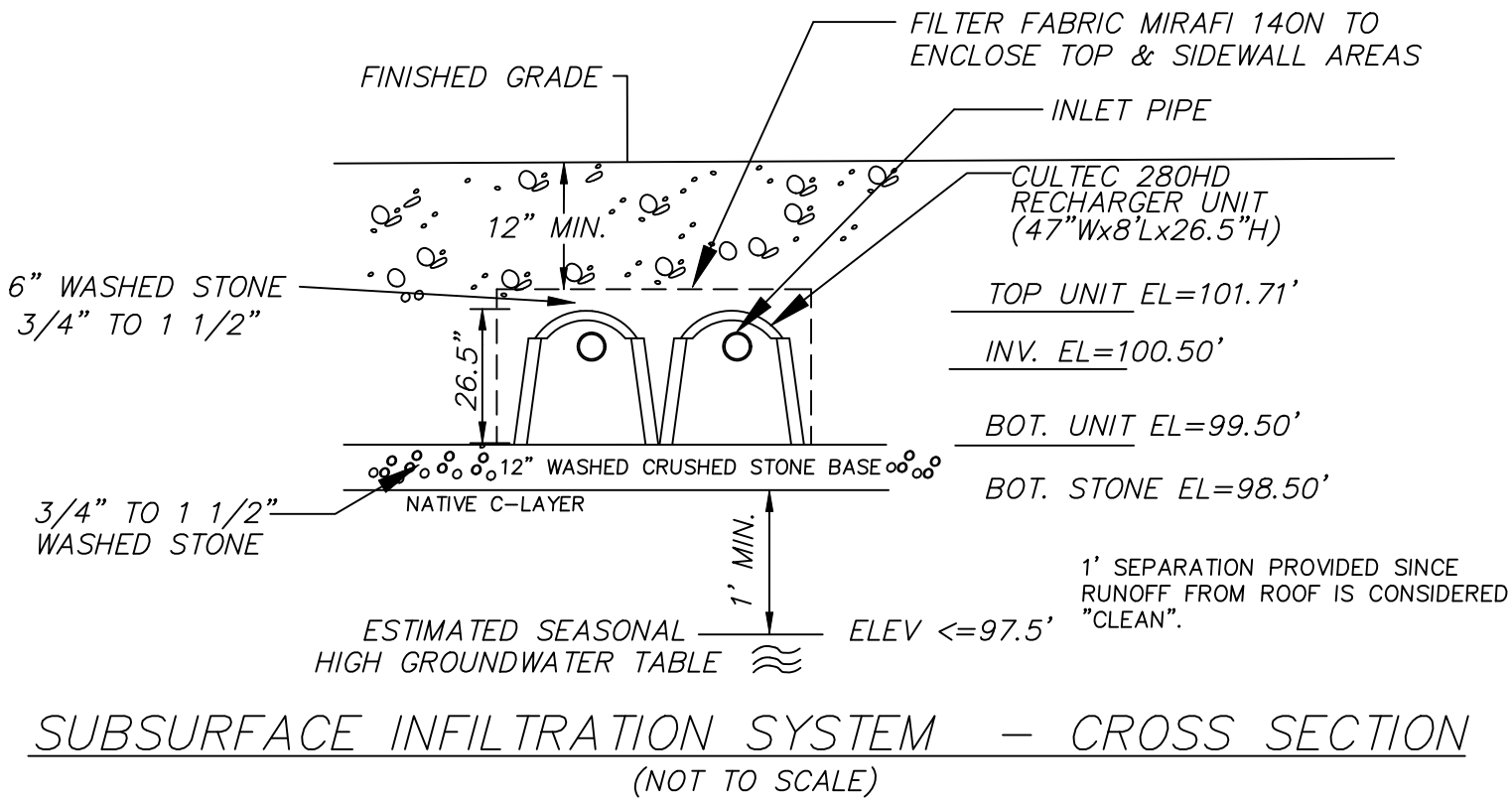
INSIDE DROP CONNECTION



INSIDE DROP - PLAN

DROP BOWL  
W/ HOOD

- NOTES:
- 1. ALL INSIDE DROP PIPING SHALL BE 3034 PVC
  - 2. DROP CONNECTION PIPE AND FITTINGS SHALL BE SAME SIZE AS ENTERING PIPE.
  - 3. CLAMPS SHALL BE 1-1/2" X 12 GA STAINLESS STEEL, ANCHORED TO M.H. WALL WITH 2-1/2" CADMIUM PLATED BOLTS.



INSIDE DROP CONNECTION

- NOTES:
- ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE "DROP BOWL" OR EQUAL PRODUCED BY: RELINER-DURAN, INC. (860)434-0277 FAX: (860)434-3195
  - LOCAL DISTRIBUTORS: HD FOWLER CO. - CLACKAMAS - 503-856-3900 NATIONAL WATERWORKS - 503-620-9123
  - DROP BOWL MODEL "A-4" SHALL BE USED FOR ALL LINES UP THROUGH FULL 6" INLETS. DROP BOWL MODEL "A-6" SHALL BE USED FOR ALL 8" INLETS. DROP BOWL MODEL "B-6" SHALL BE USED FOR ALL 10" INLETS.
  - THE FORCE LINE HOOD SHALL BE ATTACHED ON MODELS "A-4" & "A-6" WHEN THE INCOMING LINE IS A FORCE MAIN OR THE SLOPE OF A GRAVITY LINE IS 6% OR GREATER.
  - SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS OR EQUAL (SEE DETAIL 7-3A).
  - ATTACH THE DROP BOWL & EACH CLAMPING BRACKET TO THE MANHOLE WALL WITH 3/8" X 3 3/4" RAMSET/RED HEAD BOLTS HELD IN PLACE WITH 2 STAGE EPOXY PASTE. EPOXY PASTE SHALL BE A TWO COMPONENT, 100% SOLID SYSTEM. SIKADUR 31 HI-MOD GEL BY Sika CORPORATION OR EQUAL. (PHONE 582/941-0231)

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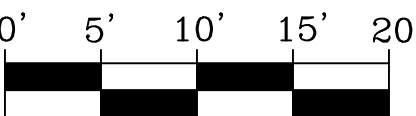
0"-48" FILL  
48"-120" C LAYER SL 2.5 Y 6/4 35% STONE

MOTTLES & WATER WEeping AT NONE  
E.S.H.G.W. <= ELEV 96.0'  
PERCOLATION RATE : 1.02 IN/HR (RAWLS RATE)

SHEET 2 OF 2

PROPOSED SITE PLAN  
OF  
MAP 46-G-1  
FREMONT STREET  
IN  
SOMERVILLE, MA

PREPARED BY: P.J.F. AND ASSOCIATES  
4 HIGHLAND AVENUE  
WAKEFIELD, MA 01880  
(781) 883-5473



REV. 12/3/18

SCALE: 1"=10'

DATE: NOVEMBER 19, 2018

FILE No. 6999P1

FIELD	PLOT	DESIGN	DRAFT	CALC.	CHECK

JOHN D SULLIVAN III P.E. NO. 41586

DATE

PAUL J. FINOCCHIO P.L.S. No.36115

DATE



PROPOSED PLANT LIST					
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
AA	1	Amelanchier arborea	Shadbush	5-6' ht.	B&B native
BN	1	Betula nigra 'Heritage'	River Birch	2.5-3" cal.	B&B native cultivar
TO	11	Thuja occidentalis 'Emerald Green'	Eastern Arborvitae	6-7' Ht.	B&B native
SHRUBS					
FG	3	Fothergilla gardenii	Dwarf Fothergilla	5 gal.	Pots native
IG	17	Ilex glabra 'Shamrock'	Inkberry	5 gal.	Pots native cultivar
IM	1	Ilex x meserveae 'Castle Spire'	Blue Holly	5 gal.	Pots
IV	3	Ilex verticillata 'Red Sprite'	Dwarf Winterberry	5 gal.	Pots, some shall be male, native cultivar
KL	5	Kalmia latifolia 'Meteor'	Mountain Laurel	5 gal.	Pots native cultivar
PJ	1	Pieris japonica	Japanese Andromeda	5 gal.	Pots
RC	7	Rhododendron 'Chionoides'	Chionoides Rhododendron	5 gal.	Pots native cultivar
HERBACEOUS					
ad	7	Aruncus dioicus	Goat's Beard	2 gal.	Pots, 18" o.c. native
cp	46	Carex pennsylvanica	Pennsylvania Sedge	2 gal.	Pots, 15" o.c. native
dp	11	Dennstaedtia punctilobula	Eastern Hayscented Fern	2 gal.	Pots, 24" o.c. native
ms	10	Matteuccia struthiopteris	Ostrich Fern	2 gal.	Pots, 24" o.c. native
nr	4	Nepeta racemosa 'Walker's Low'			
oc	10	Osmundastrum cinnamomeum	Cinnamon Fern	2 gal.	Pots, 24" o.c. native
pd	81	Phlox divaricata	Wild Sweet William	1 qt.	Pots, 15" o.c. native



*Ilex verticillata* 'Red Sprite'  
Dwarf Winterberry



*Itea virginica* 'Little Henry'  
Dwarf Virginia Sweetspire



*Rhododendron* 'Chionoides'  
Chionoides Rhododendron



*Kalmia latifolia* 'Meteor'  
Mountain Laurel



*Pieris japonica*  
Japanese Andromeda



*Fothergilla gardenii*  
Dwarf Fothergilla



*Betula nigra* 'Heritage'  
River Birch



*Amelanchier arborea*  
Shadbush



4' Ht. Wooden Picket Fence as shown on plan

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Hort.
- No substitution of plant species will be allowed without the approval of the Landscape Architect.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

\*13. Tree protection measures shall include the following for the adjacent existing trees along the community trail: Prior to site demolition, temporary 6' ht. chain link fences shall be erected around the tree trunks (location shown on plan). No construction materials shall be stored within temporary chain link fence tree protection. After construction of buildings, and during site work to install plants, remove chain link fence taking care to avoid large roots greater than 4" in diameter.





10. DEVELOPMENT STANDARDS
Green Score

Green Score is a performance-based environmental landscape standard measured as a ratio of the weighted value of all landscape elements to the total land area of a lot.

Fremont Street 5,657 SF Total

Table 10.4.1 Green Score Calculation

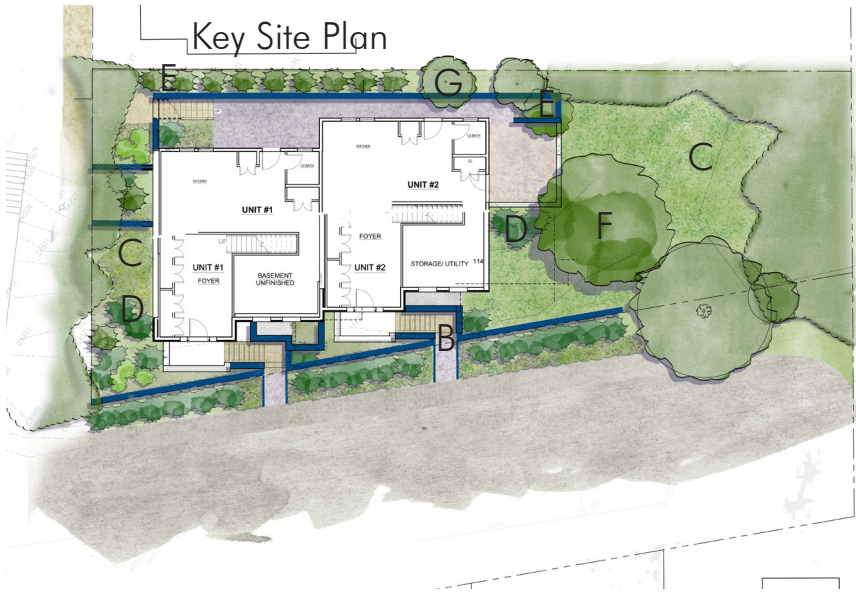
	Credit	Multiplier
Soils		
Landscaped area with a soil depth < 24 inches	actual sf	0.3
Landscaped area with a soil depth => 24 inches	actual sf	0.6
Pervious Paving with 6 to 24 inches of subsurface soil or gravel	actual sf	0.2
Pervious Paving with more than 24 inches of subsurface soil or gravel	actual sf	0.5
Groundcovers		
Turfgrass, mulch, and inorganic surfacing materials	actual sf	0.1
Plants		
Vegetation less than two (2) feet tall at maturity	actual sf	0.2
Vegetation at least two (2) feet tall at maturity	12 sf.	0.3
Trees		
Small Tree	50 sf.	0.6
Large Tree	450 sf.	0.6
Preserved Tree	65 sf.	0.8
Engineered Landscape		
Vegetated Wall	actual sf	0.1
Rain gardens, bioswales, and stormwater PLANTERS.	actual sf	1.0
Green Roof with up to 6" of growth medium	actual sf	0.1
Green Roof with 6"-10" of growth medium	actual sf	0.4
Green Roof of 10"-24" growth medium	actual sf	0.6
Green Roof of over 24" growth medium	—	per individual landscape elements

Key		Multiplier	Bonus	Credit	
A	Soils   Landscaped Area with a soil depth => 24 inches	.6		2,985.1	1,791.1
B	Soils   Pervious Paving with more than 24 inches of subsurface soil or gravel	.5		3	1.5
C	Plants   Vegetation less than two feet tall at maturity	.2	NS .1	2,358.6	707.6
D	Plants   Vegetation at least two feet tall at maturity	.3	NS .1	(18area )12	86.4
E	Trees   Small Tree	.6	NS .1	(11) 50	385
F	Trees   Large Tree	.6	NS .1	(1) 450	315
G	Trees   Preserved Tree	.8		(2) 65	204
	Total				3,490.6
	Green Score Bonus Native Species = NS = .1				

Table 10.4.2 Green Score Bonuses

	Credit	Multiplier
Bonus Credits		
Publicly visible landscape	--	0.1
Native species	--	0.1
High value species	--	0.1
50% of irrigation is harvested rainwater	--	0.1
Food cultivation	--	0.1
De-paved LOT AREA	--	0.1

5. Calculation
- a. GREEN SCORE is calculated as follows:
    - i. Determine total LOT AREA.
    - ii. Calculate the area of each proposed landscape element for each category identified in the first column of Table 10.4.1. Certain types of plantings use the number of individual plants multiplied by an equivalent square footage when indicated in the second column of Table 10.4.1.
    - iii. Multiply the actual square footage, or the equivalent square footage, of each landscape element by the multiplier specified for each landscape element in the third column of Table 10.4.1 plus any bonus on Table 10.4.2 to determine the weighted score of each element.
    - iv. Add the weighted score of all landscape elements together.
    - v. Divide the resulting sum by the area of the LOT to determine the final GREEN SCORE.
    - vi. If necessary, redesign the landscape plan to achieve the required GREEN SCORE.
  - b. BONUSES
    - i. Review Boards may establish additional bonuses



3,490.6 / 5,657 = .62 Green Score



PROJECT NAME

0 Fremont St.  
Residences

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0 Fremont Street  
Somerville, MA

CLIENT

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ARCHITECT



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REVISIONS

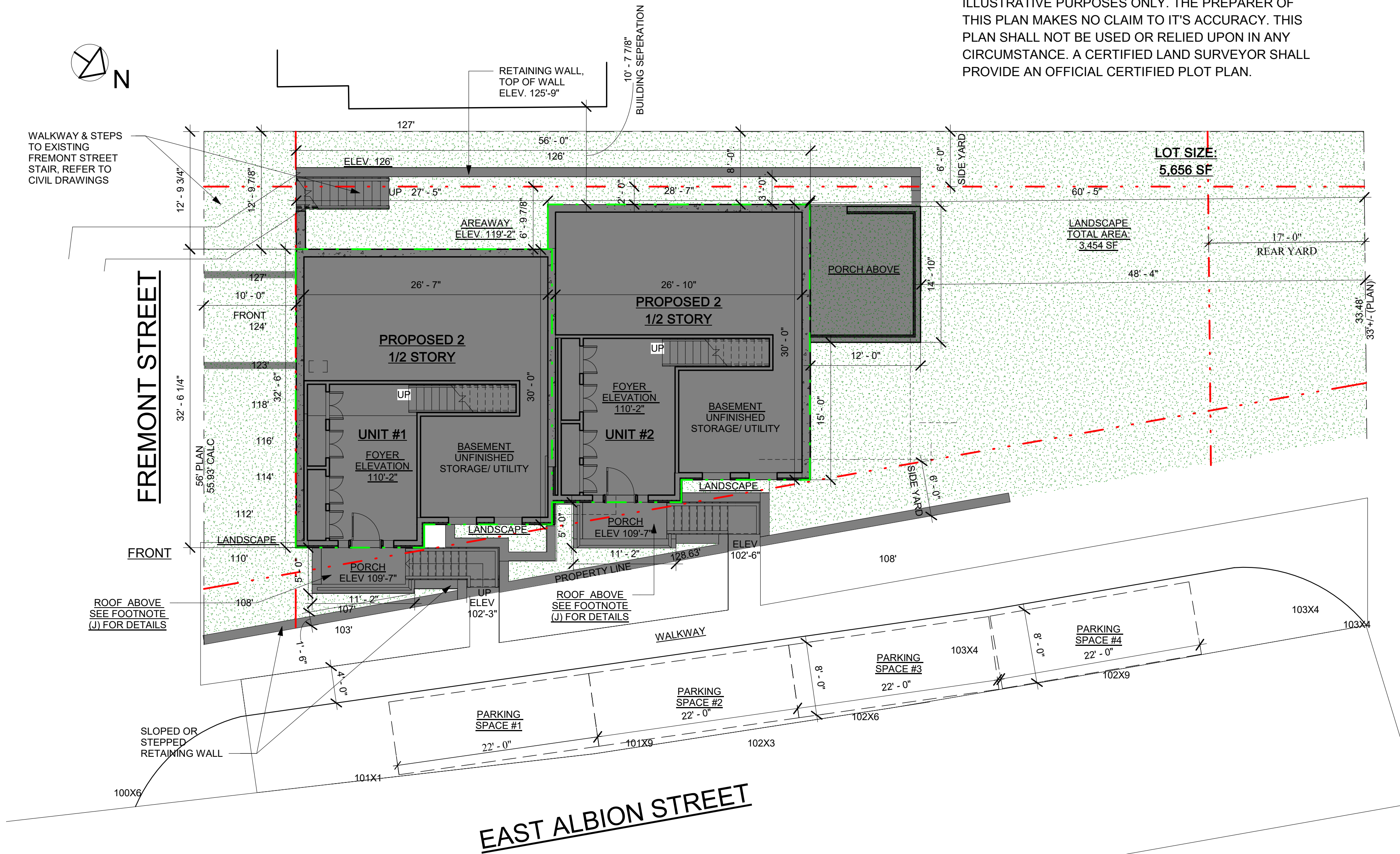
No.	Description	Date

Architectural Site  
Plan

A-020

0 Fremont St. Residences

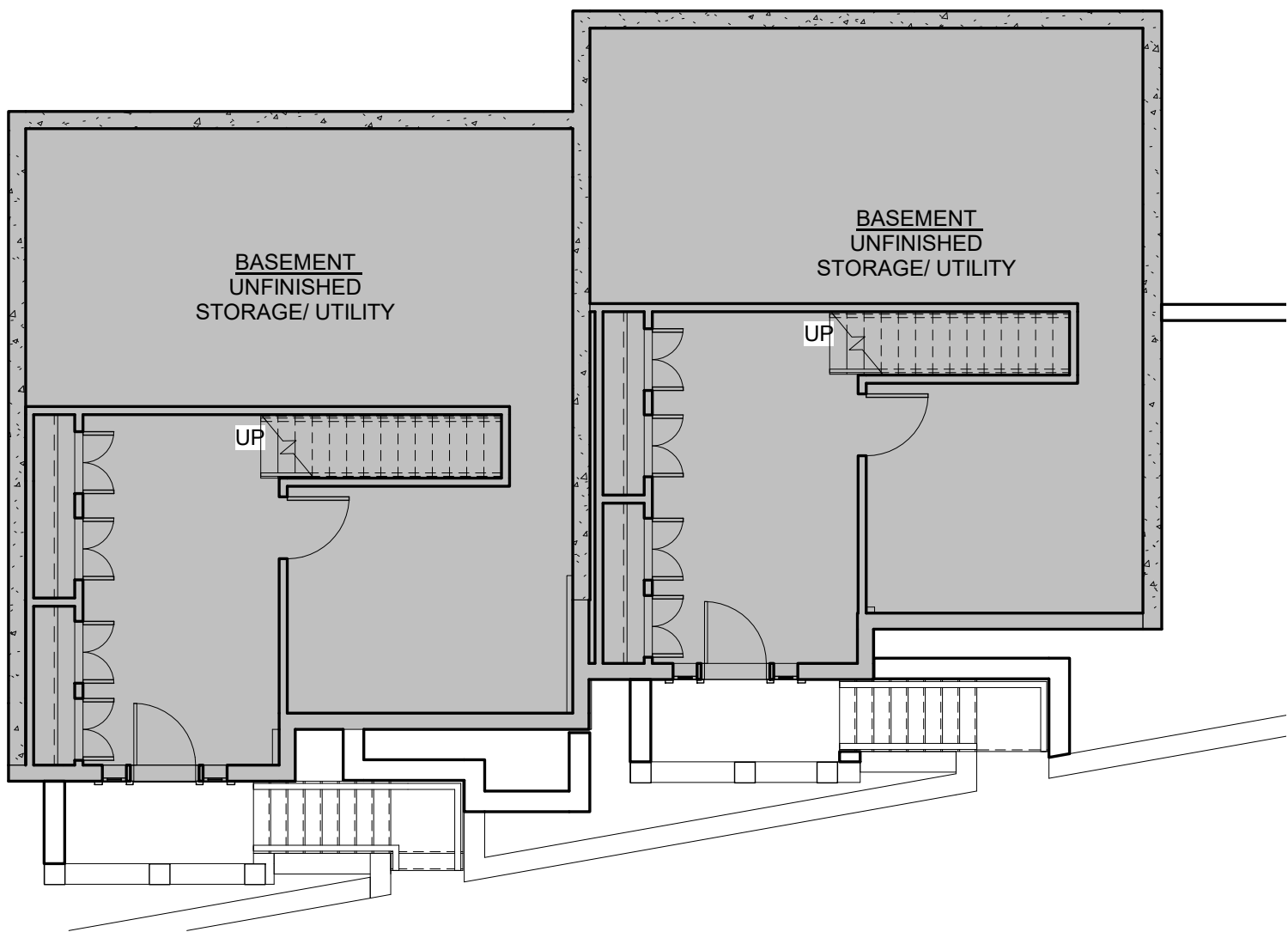
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CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL  
PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.



1 Site Plan  
1/8" = 1'-0"

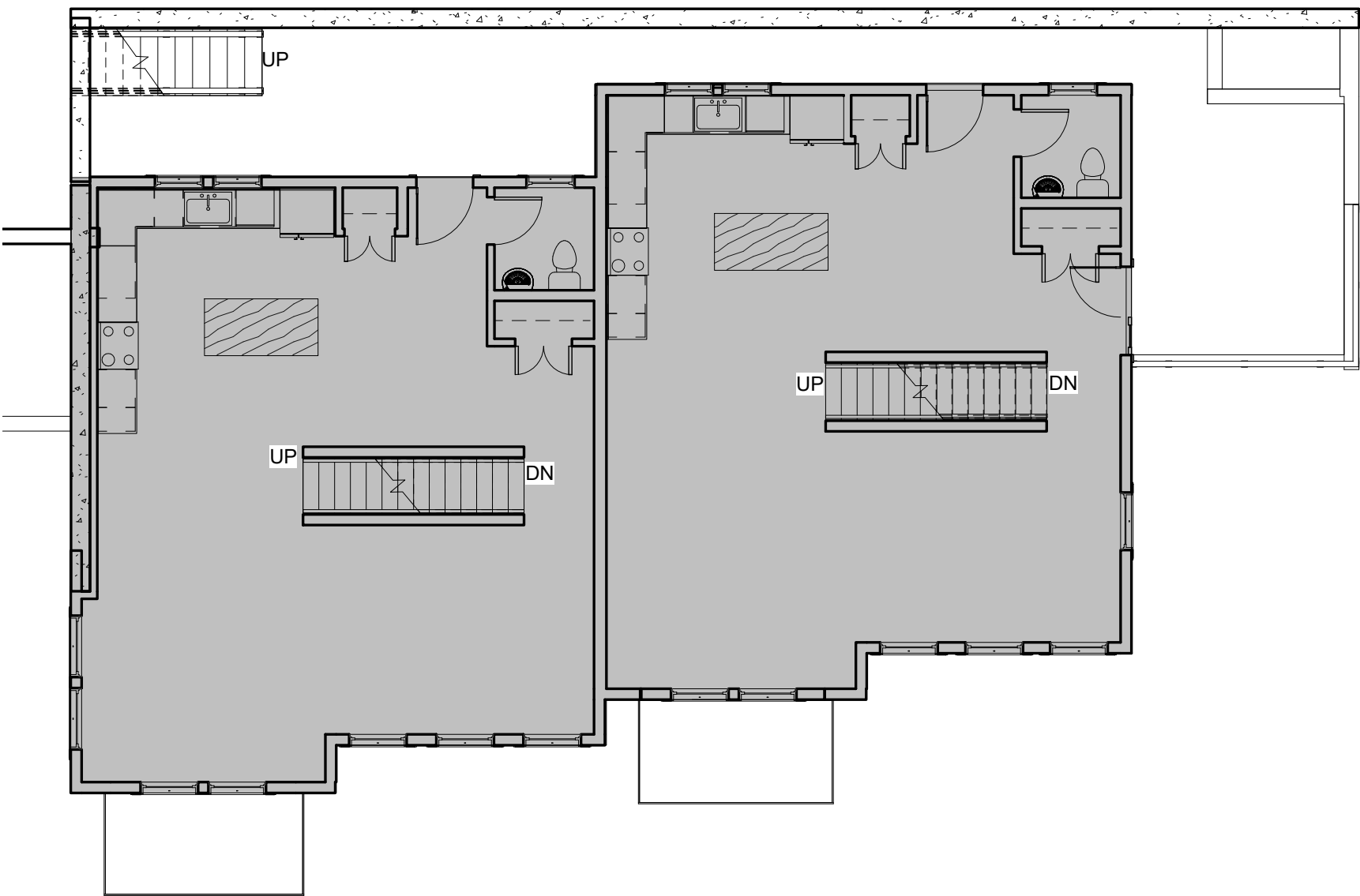
	GROSS FLOOR AREA
ENTRY/ BASEMENT LEVEL	1,752 SF
FIRST FLOOR	1,752 SF
SECOND FLOOR	1,752 SF
ATTIC	1,752 SF
TOTAL	7,008SF

LEGEND
GROSS AREA



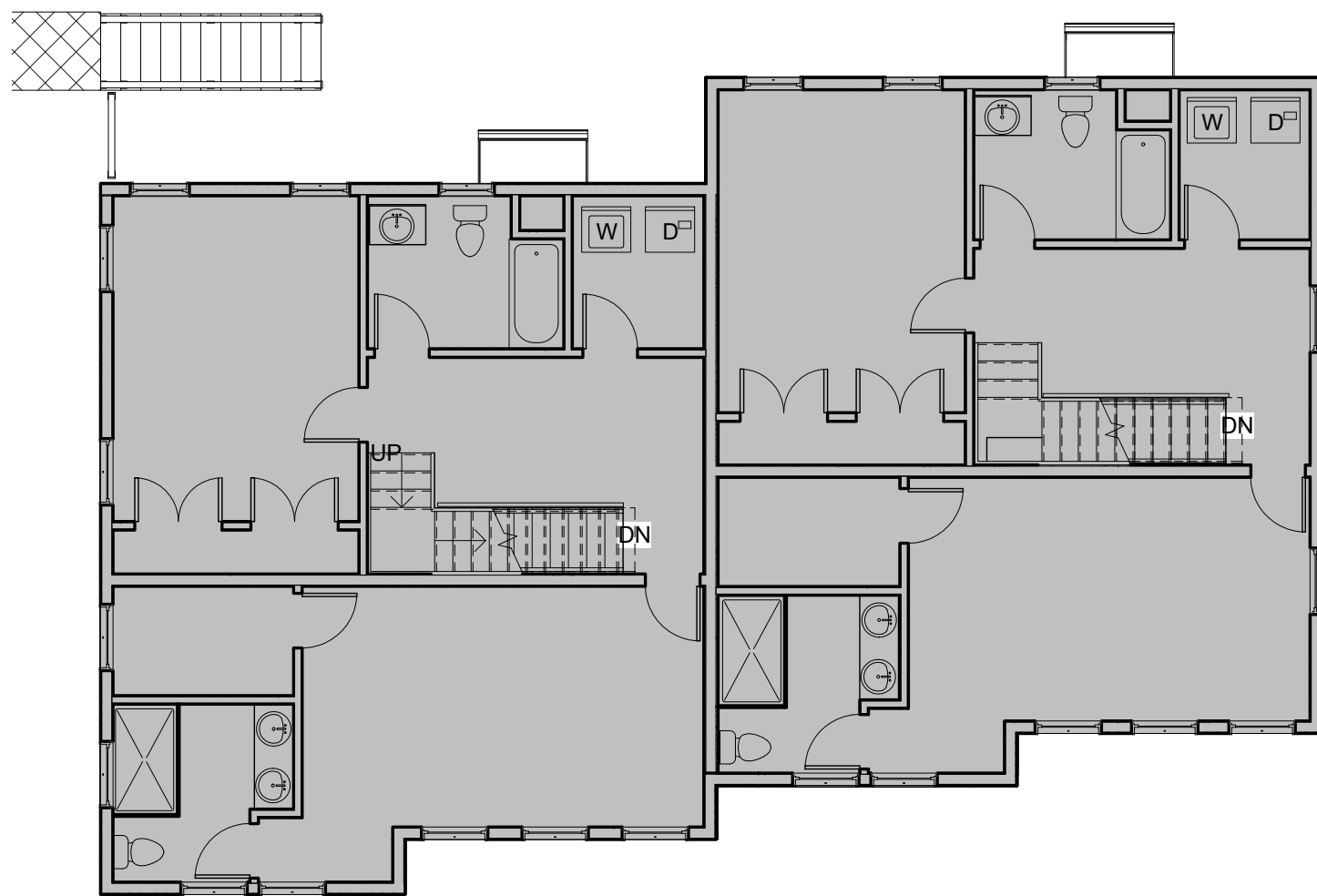
ENTRY / BASEMENT LEVEL

GROSS AREA: 1,752 SF



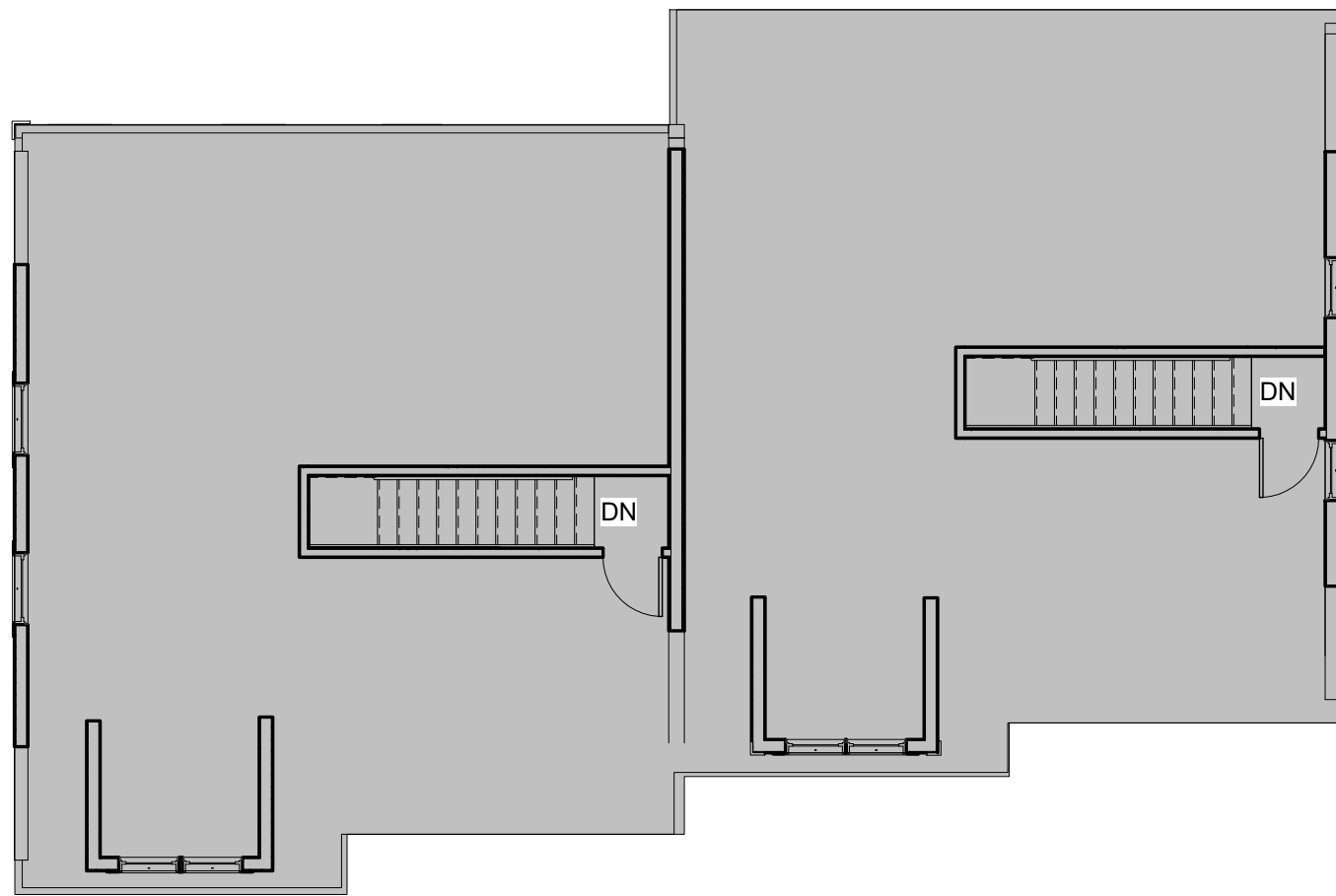
FIRST FLOOR LEVEL

GROSS AREA: 1,752 SF



SECOND FLOOR LEVEL

GROSS AREA: 1,752 SF



ATTIC LEVEL

GROSS AREA: 1,752 SF



ZONING DIMENSIONAL TABLE			
	ALLOWED / REQUIRED	PROPOSED	COMPLIANCE
ZONE	NR ZONE		
BUILDING TYPE	DUPLEX	DUPLEX	COMPLIES
LOT DIMENSIONS			
LOT WIDTH (MIN.)	50 FT (CURRENT ZONING)	56 FT	COMPLIES
LOT DEPTH (MIN.)	70 FT (CURRENT ZONING)	126 FT +/-	
LOT DEVELOPMENT			
LOT COVERAGE (MAX.)	65% / 3,393 SF	42% / 2,375 SF	COMPLIES
GREEN SCORE		0.62	COMPLIES
MINIMUM	0.35		
IDEAL	0.40		
BUILDING SETBACKS			
FRONT (MIN.) FREMONT ST.	10 FT OR EXISTING ALIGNMENT	10'-0"	COMPLIES
RIGHT SIDE SETBACK (MIN.) E. ALBION ST.	6 FT( SEE NOTE 1)	6'-0"	COMPLIES
LEFT SIDE SETBACK (MIN.)	5 FT	8'-0"	COMPLIES
REAR SETBACK (MIN.)	20 FT	48'-4"	COMPLIES
BUILDING SEPERATION (MIN.)	10 FT	10'-10 5/8" +/-	COMPLIES
PARKING SETBACKS			
PRIMARY FRONT SETBACK (MIN.)	20 FT	N/A	N/A
SECONDARY FRONT SETBACK (MIN.)	10 FT	N/A	N/A
MAIN MASSING			
FACADE BUILD OUT (MIN.)	50% / 64.3'	69'-3"	COMPLIES
WIDTH (MIN./ MAX.)	40 FT / 56 FT	56'-0"	COMPLIES
DEPTH (MIN./MAX.)	30 FT / 52 FT	30'-0" / 32'-6"	COMPLIES
GROUND STORY ELEVATION (MIN.)	2 FT	2'-2"	COMPLIES
STORY HEIGHT (MIN. / MAX.)	10 FT / 12 FT	10'-0"	COMPLIES
NUMBER OF STORIES (MAX.)	2.5 STORIES	2.5 STORIES	COMPLIES
ROOF TYPE	FLAT, GABLE, HIP, MANSARD	GABLE	COMPLIES
FACADE COMPOSITION			
GROUND STORY FENESTRATION (MIN. / MAX.)	15% / 50%	28% (E. ALBION ST FACADE)	COMPLIES
UPPER STORY FENESTRATION (MIN. / MAX.)	15% / 50%	28% (E. ALBION ST FACADE)	COMPLIES
GROUND STORY FENESTRATION (MIN. / MAX.)	15% / 50%	15.5% (FREMONT ST FACADE)	COMPLIES
UPPER STORY FENESTRATION (MIN. / MAX.)	15% / 50%	21.6% (FREMONT ST FACADE)	COMPLIES
USE & OCCUPANCY			
DWELLING UNITS PER LOT (MAX.)	2	2	COMPLIES
DWELLING UNITS (MAX.)	2	2	COMPLIES
OUTDOOR AMENITY SPACE (MIN.)	1 / DU	1+ / DU	COMPLIES
REQUIRED ADU'S			
0 TO 2 UNITS	NONE	NONE	COMPLIES
PARKING REQUIREMENTS (OUTSIDE A TRANSIT ZONE)			
BICYCLE			
SHORT-TERM	NONE	NONE	COMPLIES
LONG -TERM	NONE	NONE	COMPLIES
MOTOR VEHICLE	1.0/ DU	4 SPACES (ON PRIVATE WAY)	COMPLIES WITH NUMBER

NOTE 1: PER M.G.L. c. 40A, sec 6- LOT AREA, FRONTAGE, WIDTH, YARD AND DEPTH REQUIREMENTS AT THE TIME LOT WAS CREATED (1925 SOMERVILLE ZONING ORDINANCE)

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REGISTRATION



Project number 17108  
Date 11/23/2020  
Drawn by TC  
Checked by JSK  
Scale 12" = 1'-0"

REVISIONS

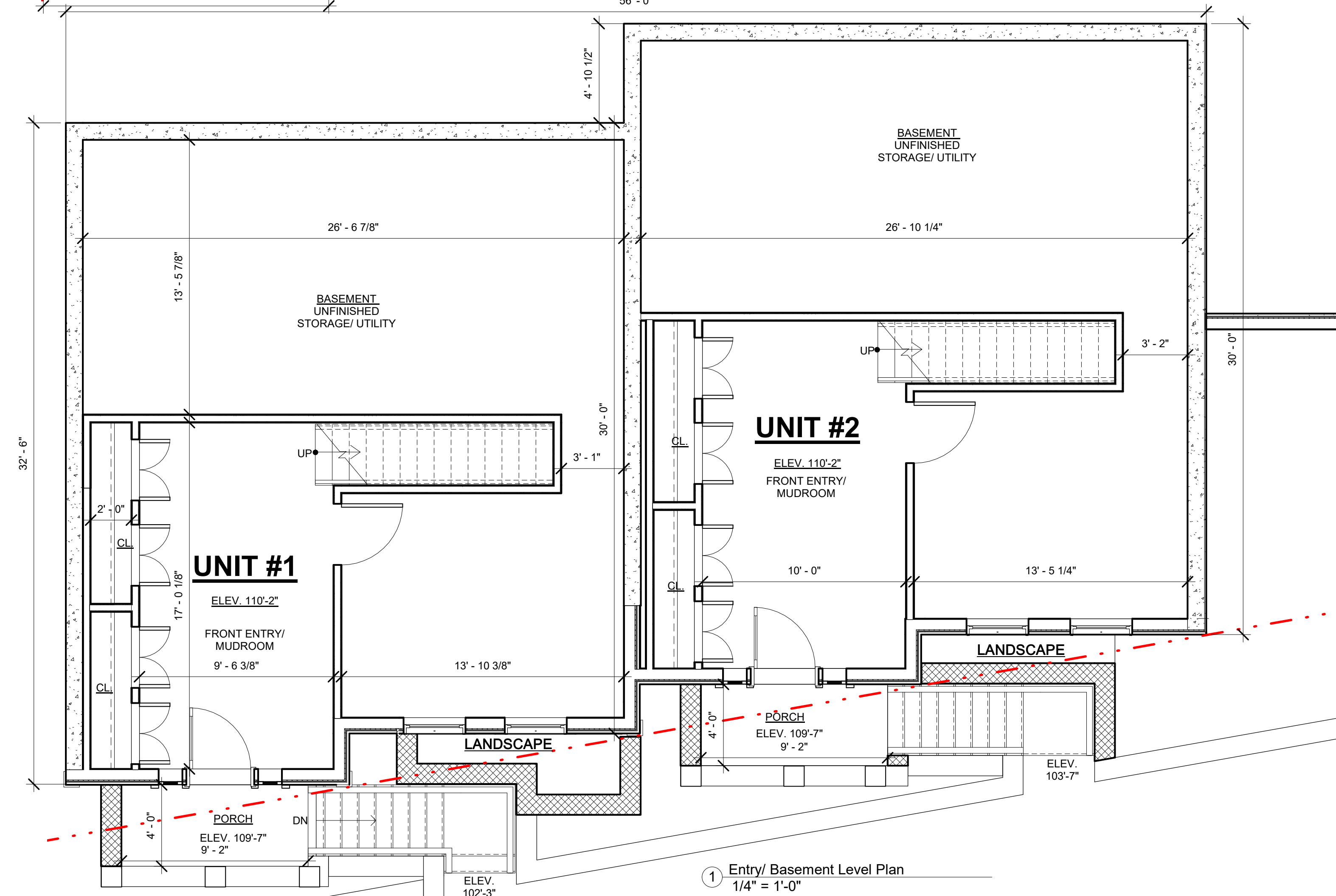
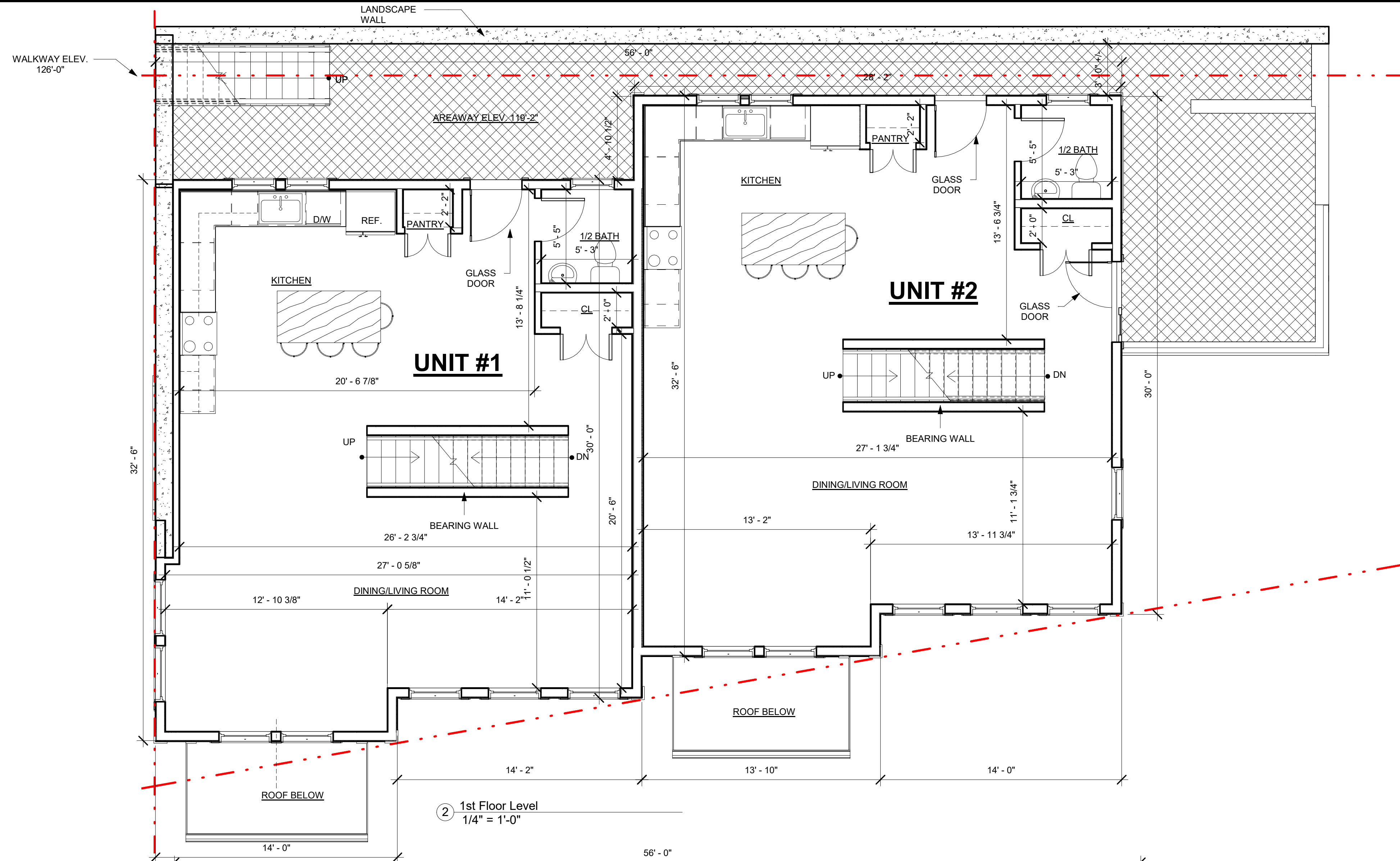
No.	Description	Date

Zoning Chart

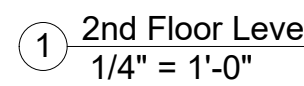
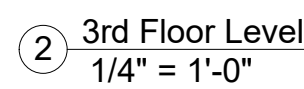
A-021

0 Fremont St. Residences











SHED DORMER	REQUIRED	PROPOSED	COMPLIES
(A) WIDTH ( MAX)	WINDOW(S) WIDTH + 36"	(D1): (2) 32" W WITH 1'-6" ON BOTH SIDES (D2): (2) 32" W WITH 1'-6" ON BOTH SIDES	YES YES
SIDE WALL SETBACK (MIN)	-	-	-
ROOF WITH EAVE	0 FT		
ROOF WITHOUT EAVE	1 FT	(D1): 1 FT MIN (D2): 1 FT MIN	YES YES
(B) FRONT & REAR WALL SETBACK (MIN)	3 FT	(D1): 3 FT MIN (D2): 3 FT MIN	YES YES
(C) RIDGE SETBACK (MIN)	1 FT	(D1): 1 FT MIN (D2): 1 FT MIN	YES YES
(D) ROOF SLOPE (MIN)	4:12	(D1): 4:12 MIN (D2): 4:12 MIN	YES YES
(E) DORMER SEPERATION (MIN)	50% OF DORMER WIDTH	(D1): 50% (D2): 50%	YES YES

ENTRANCE PORTICO	REQUIRED	PROPOSED	COMPLIES
LANDING WIDTH (MIN)	4 FT	9'-2"	YES
LANDING DEPTH (MAX)	4 FT	4 FT	YES
CLEARANCE (MAX)	8 FT	8 FT	YES
SETBACK ENCROACHMENT (MAX)			
FRONT	100%	N/A	N/A
SIDE & REAR	0 FT	N/A	N/A



ENTRANCE PORTICO	REQUIRED	PROPOSED	COMPLIES
LANDING WIDTH (MIN)	4 FT	9'-2"	YES
LANDING DEPTH (MAX)	4 FT	4 FT	YES
CLEARANCE (MAX)	8 FT	8 FT	YES
SETBACK ENCROACHMENT (MAX)			
FRONT	100%	N/A	N/A
SIDE & REAR	0 FT	N/A	N/A

iv.) Basements are not counted as one (1) STORY unless the finished floor of the GROUND STORY is five (5) feet or more above the AVERAGE GROUND LEVEL of the LOT. See Figure 2.3 (g) and Figure 2.2 (h)

AVERAGE GROUND LEVEL: The mean (average) of the finished ground level next to a building at the exterior walls.

1 East (Front) Elevation  
3/16" = 1'-0"



2 South (Left) Elevation  
3/16" = 1'-0"

AVERAGE GRADE CALCULATION	
=	$\frac{(L1 \times \text{GRADE}) + (L2 \times \text{GRADE}) + (L3 \times \text{GRADE}) + (L4 \times \text{GRADE}) + (L5 \times \text{GRADE}) + (L6 \times \text{GRADE}) + (L7 \times \text{GRADE}) + (L8 \times \text{GRADE})}{L1 + L2 + L3 + L4 + L5 + L6 + L7 + L8}$
=	$\frac{(56' \times 110.3') + (5' \times 126.2') + (32' \times 117') + (46' \times 119.2') + (10' \times 122.1') + (7' \times 110.2') + (15' \times 114.2') + (15' \times 118.2')}{56' + 5' + 32' + 46' + 10' + 7' + 15' + 15'}$
=	$\frac{6,176.8 + 631 + 3,744 + 5,483.2 + 1,221 + 772.1 + 1,713 + 1,773}{186}$
=	$\frac{21,514.8}{186}$
	AVERAGE GRADE= 115.6

PROJECT NAME  
**0 Fremont St. Residences**

PROJECT ADDRESS  
0 Fremont Street  
Somerville, MA

CLIENT  
  
**Joe Salamone**



17 IVALOO STREET SUITE 400  
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REGISTRATION



Project number 17108  
Date 11/23/2020  
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Checked by JSK  
Scale As indicated

REVISIONS

No.	Description	Date

East & South  
Elevations

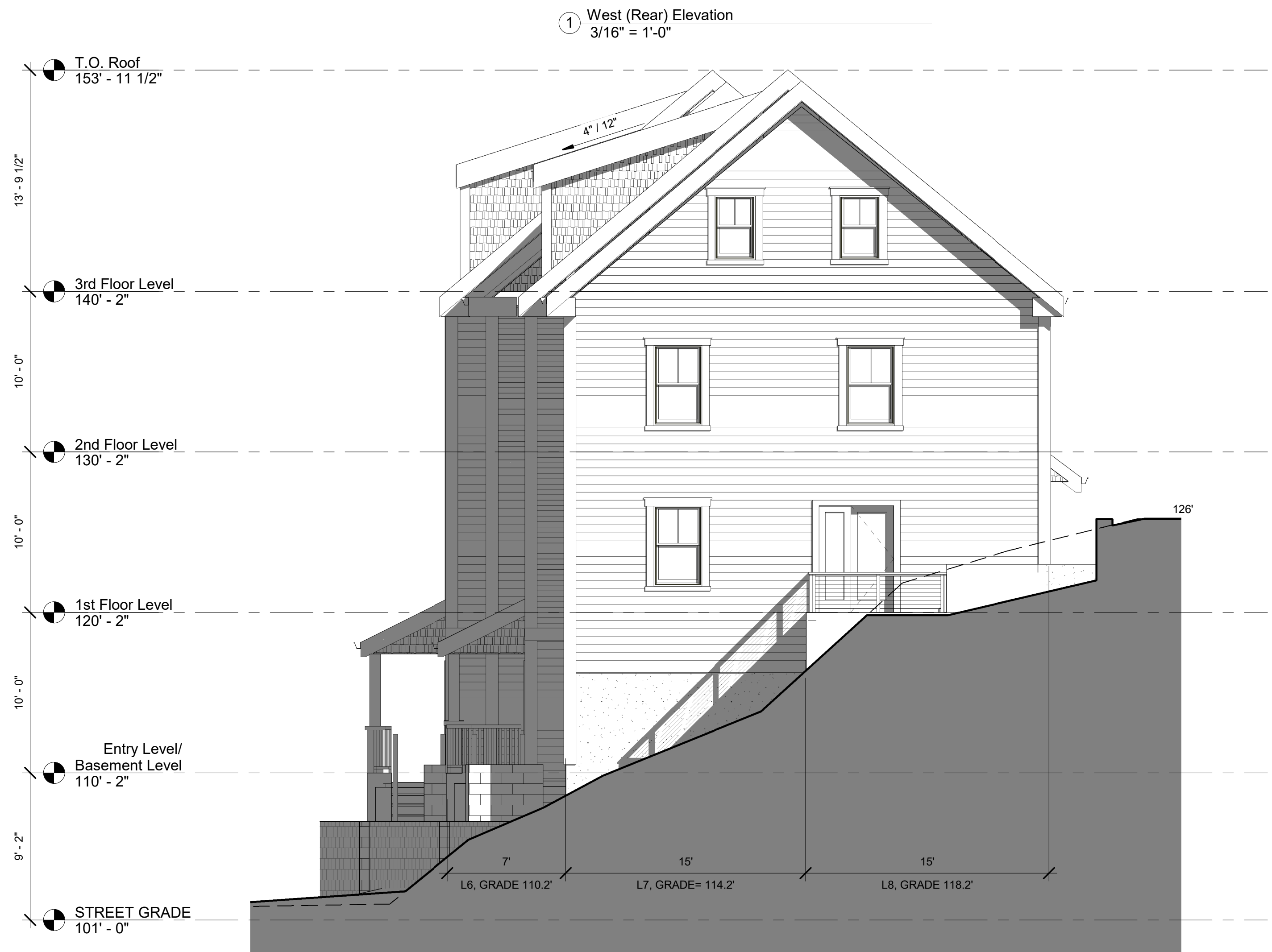
**A-300**

0 Fremont St. Residences





ENTRY CANOPY	REQUIRED	PROPOSED	COMPLIES
WIDTH (MIN)	3 FT	5 FT	YES
DEPTH (MAX)	3 FT	3 FT	YES
CLEARANCE (MIN)	8 FT	8 FT	YES
SETBACK ENCROACHMENT (MAX)			
FRONT	100%	N/A	N/A
SIDE & REAR	0 FT	N/A	N/A



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ARCHITECT



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Scale	As indicated

REVISIONS

No.	Description	Date

West & North  
Elevation

**A-301**  
0 Fremont St. Residences

② North (Right) Side  
3/16" = 1'-0"

① West (Rear) Elevation  
3/16" = 1'-0"





1 Building Section  
1/4" = 1'-0"

PROJECT NAME  
**0 Fremont St.  
Residences**

PROJECT ADDRESS  
0 Fremont Street  
Somerville, MA

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DESIGN

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Project number	17108
Date	11/23/2020
Drawn by	TMC
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Building Section

A-400

0 Fremont St. Residences





PROJECT NAME

0 Fremont St.  
Residences

PROJECT ADDRESS

0 Fremont Street  
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Project number 17108  
Date 11/23/2020  
Drawn by TMC  
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Scale

REVISIONS

No.	Description	Date

Perspectives

AV-1

0 Fremont St. Residences